

NORTHEAST DISTRICT PLAN AND DESIGN GUIDELINES

March 15, 2022 Open House

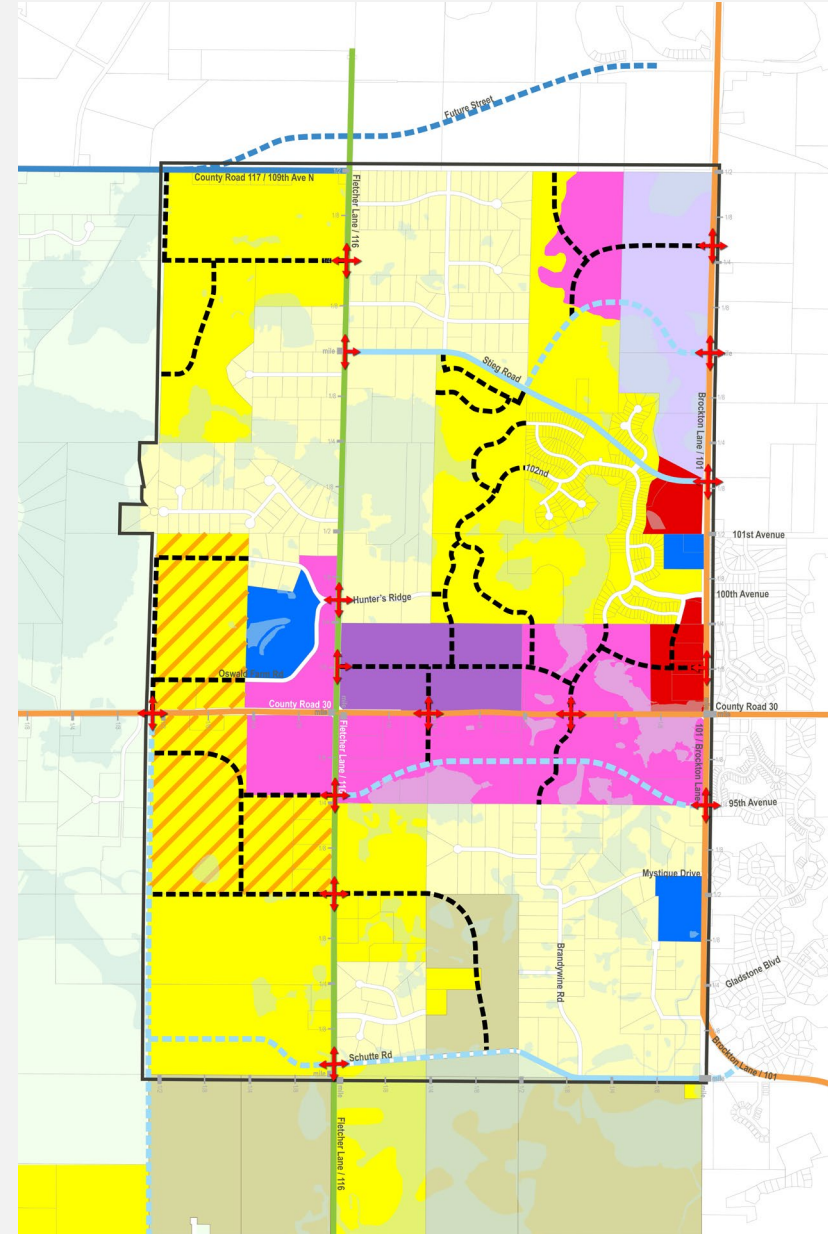
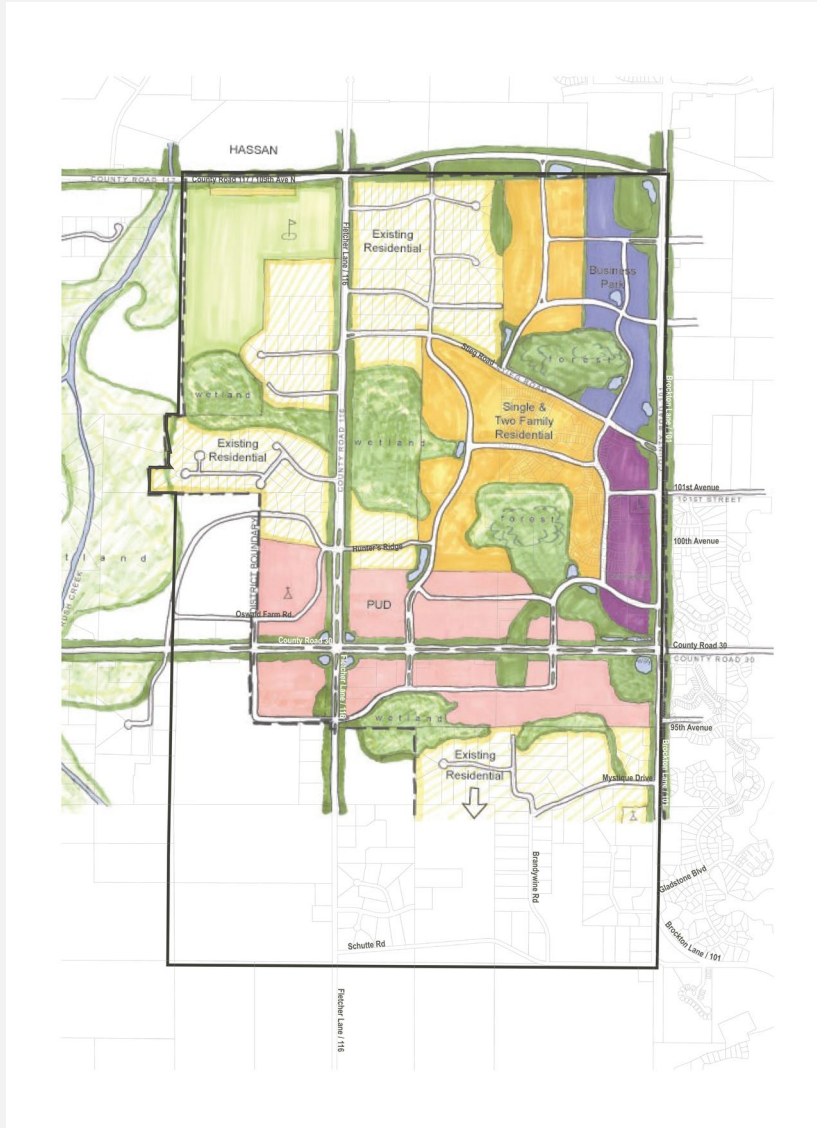
AGENDA

- Welcome
- Presentation
- Questions
- Adjourn

BACKGROUND

- City-initiated effort to update existing Northeast District Plan and Design Guidelines
 - To bring into compliance with Comprehensive Plan
 - City obtained a grant from Hennepin County
 - Grant required:
 - Overall District concept
 - Street Hierarchy and future alignments
 - Parks/Trails/Walkable Destinations map
 - Architectural standards
 - Parking standards
 - Landscaping/screening/gateway signage
 - Sustainability goals and natural resource preservation
 - Utility standards
 - Existing and Proposed Infrastructure plans

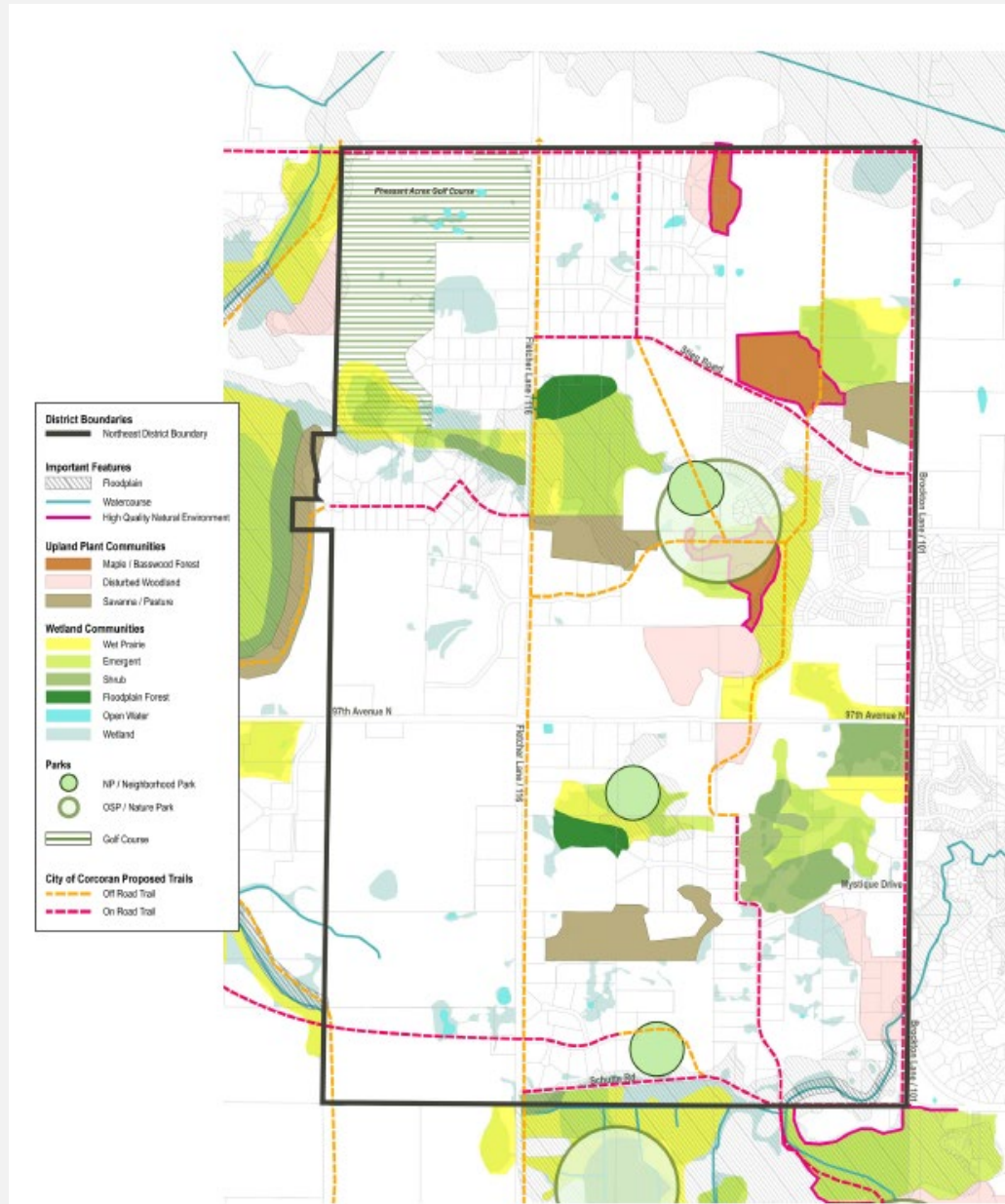
CURRENT NE PLAN VS. NEW PLAN



PUBLIC INPUT

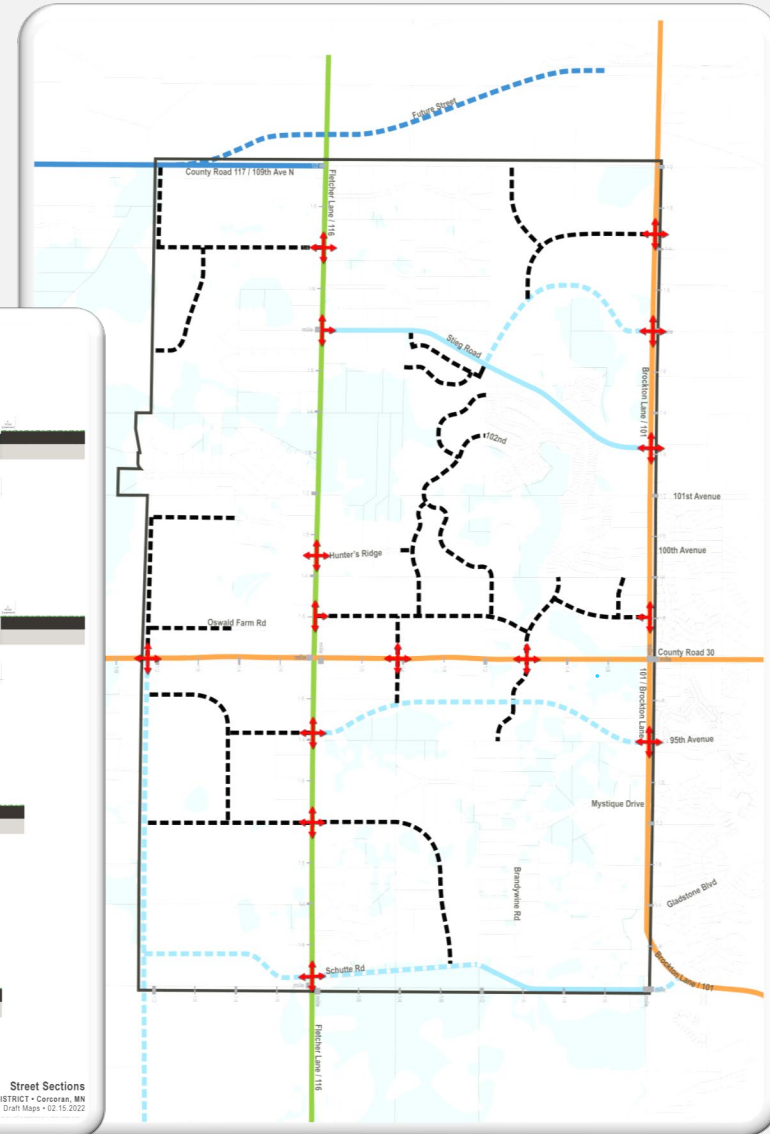
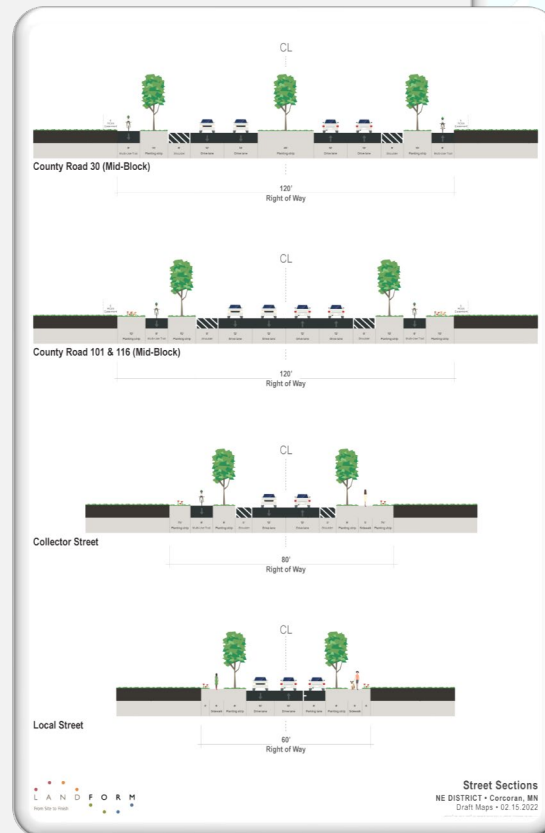
- Online Survey
 - December 14 – January 17th
 - 166 individuals participated
 - Support for retail/service businesses and office or industrial uses
 - Preserving natural resources and green space was high priority
 - Support for job creation and new businesses as well
- Open House for NE District landowners on January 11th
 - Approx. 100 people attended
 - Many outside of the NE district
 - Results similar to the online survey
- Open House tonight is another opportunity to provide feedback
- A public hearing will be held May 5th at the Planning Commission meeting with City Council action expected on May 26th

SITE CONSTRAINTS ANALYSIS



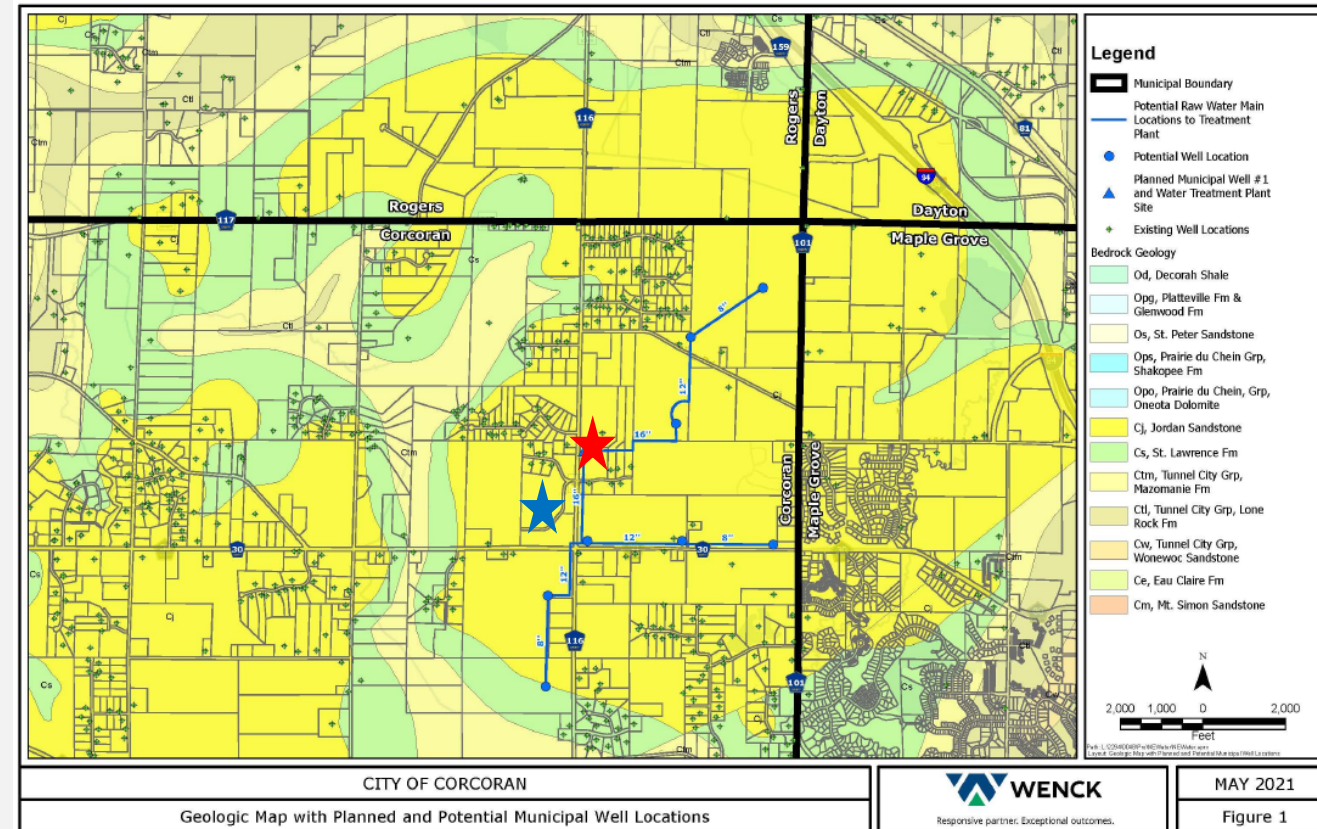
STREET HIERARCHY

- Continued discussion with County on improvements to CR 30, CR 101 and CR 116
 - Will look for grade separated crossings
 - Plan for 4-lane roads with planted median
- City streets
 - Local and Collector
 - Planted boulevards
 - Sidewalk/Trail



UTILITIES

- The moratorium was put in place to update the NE district plan and complete water planning
- The water planning effort continues
 - A site has been acquired for a well/treatment plant
 - A potential water tower site has been identified
 - A second site is being studied
 - Potential locations were identified in 2021



ALLOWABLE USES

- Uses shall be as permitted in the underlying zoning district except the following uses are prohibited in this Gateway District:
 - Contractors operations
 - Equipment rental
 - Lumber yards/building material sales.
 - Mini Storage/Self Storage Facilities.
 - Motor Vehicle, Boat or Equipment Repair
 - Motor Vehicle, Boat or Equipment Sales
- We are looking for feedback from landowners
 - Will discuss with Planning Commission on April 7th
 - May be modified prior to formal review if feedback suggests it is too restrictive



ARCHITECTURAL STANDARDS

- No changes to the residential design standards
 - Existing standards are robust
- Commercial/Industrial standards proposed to be strengthened to reflect open house feedback
 - Desire for natural materials (wood, brick, stone)
 - Performance standards to ensure a mix of quality materials and avoid long blank walls
- Wind and Solar Energy systems encouraged



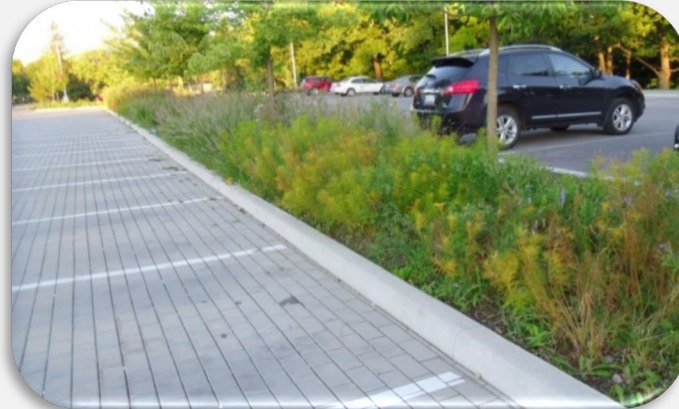
PARKING STANDARDS

- Require parking lot landscaped islands
- Pedestrian routes in lots
- Bicycle parking
- Electric vehicle charging stations required



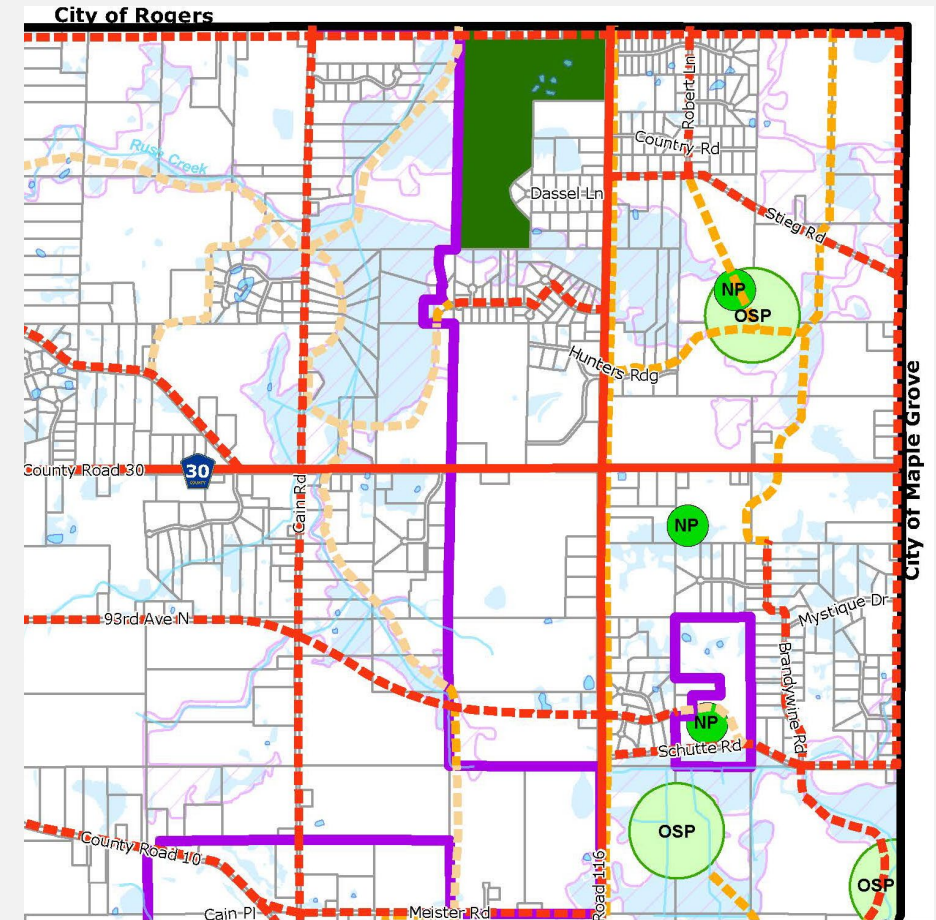
LANDSCAPE STANDARDS

- Established a list of acceptable trees/shrubs
 - List of native species
 - Encourage visual interest and year round color
 - Based on initial list from Parks Commissioners
- Ground cover
 - Encourage bee lawns and native prairie plantings
- Require at least two of the following for new development:
 - Xeriscaping
 - Rain Gardens/Bioretenion systems
 - Green roofs
 - Aesthetic Design (plazas, public art, fountains or other site amenities – could include city gateway signage)



PARKS/TRAILS/OPEN SPACE

- Walkable Destinations Map will show parks/trails and links to places of worship and retail areas



STORMWATER

- Stormwater management are essential components of development
 - Should be designed as an amenity
 - Must comply with state, watershed and city standards
 - Pervious pavers, underground systems, stormwater reuses, etc. are encouraged
 - Chloride management plans are required for new development
 - Regulated under the City's MS4 permit



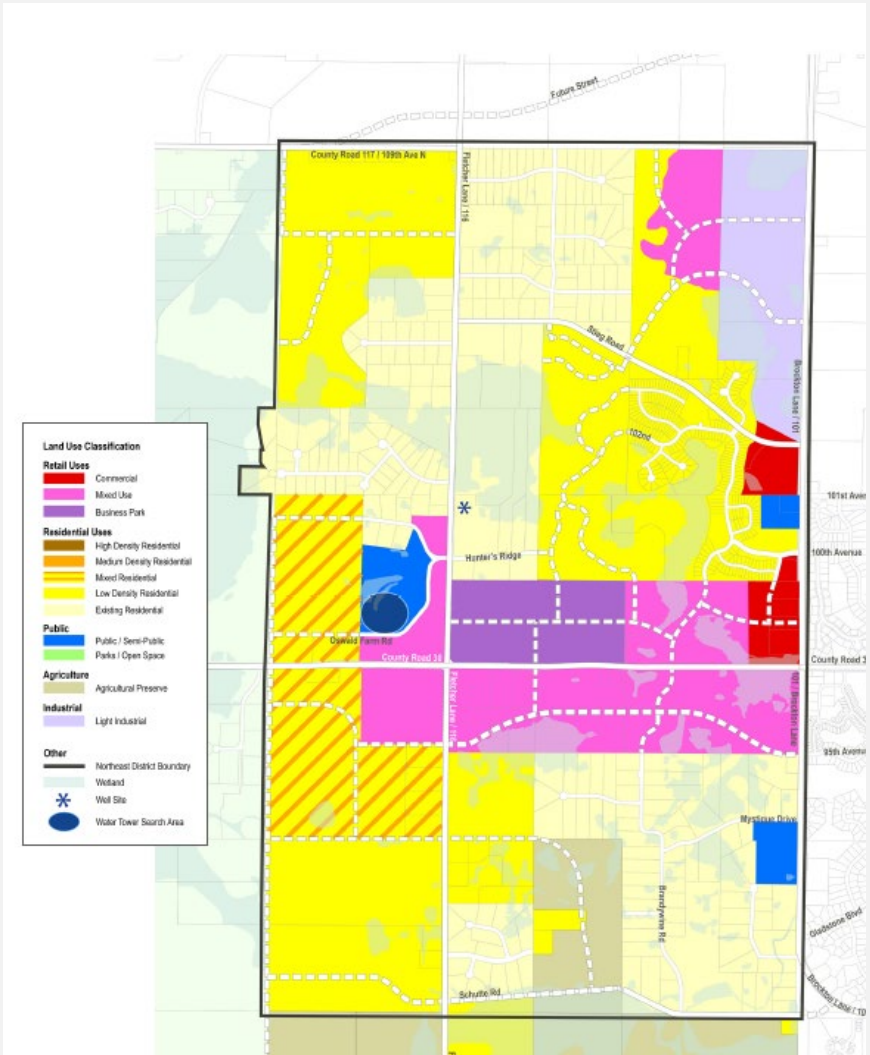
NEXT STEPS

- *Informal Planning Commission review on April 7th*
- Public Hearing on May 5th at the Planning Commission
 - ***FORMAL PUBLIC INPUT OPPORTUNITY***
- Council Adoption on May 26th

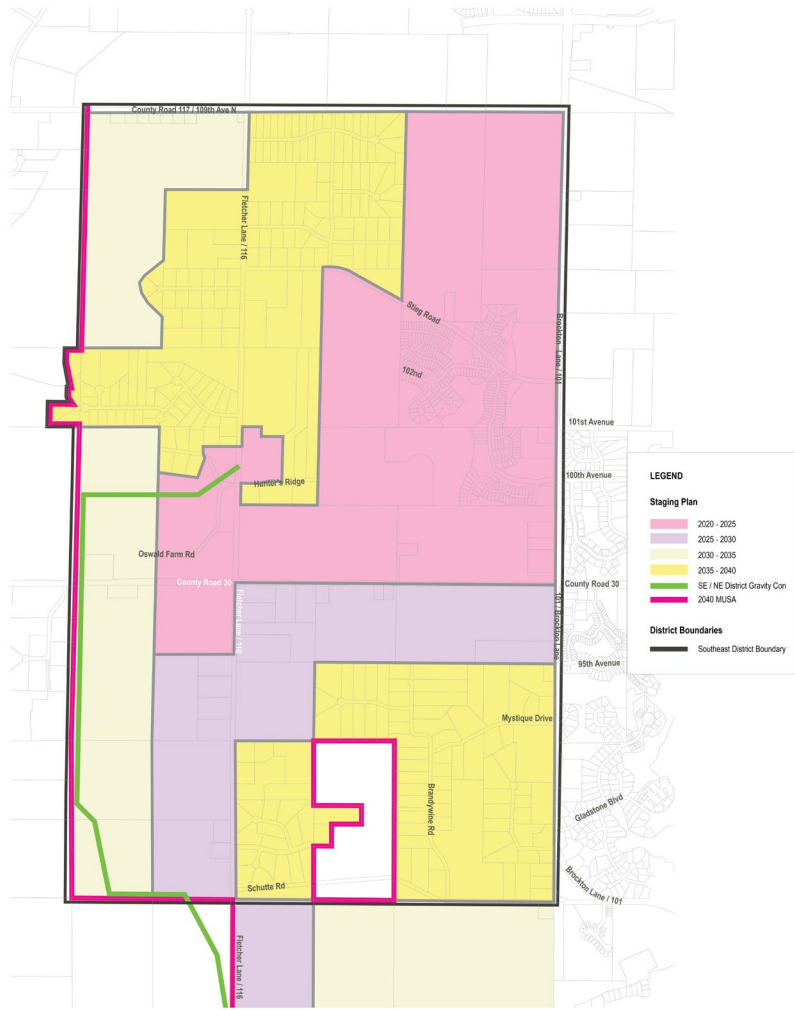
- Moratorium to expire on June 10th (or could be lifted upon adoption of the new NE district plan)

QUESTIONS

- City staff will take questions from the audience



- THANK YOU!
- A DRAFT document will be posted on the City website this week
- Please complete a comment card
 - *Leave at the front tonight or return to City Planner Natalie Davis McKeown by March 30th*



LEGEND

Staging Plan

- 2020 - 2025
- 2025 - 2030
- 2030 - 2035
- 2035 - 2040
- SE / NE District Gravelly Con
- 2040 MUSA

District Boundaries

- Southeast District Boundary



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2040 Staging Plan

NE District Open House

Architecture

A spectrum of Architectural styles is represented in these images, which do you generally prefer?



Examples of Grocery >

Rural / Rustic >



Traditional >



Modern



Examples of Retail >

Rural / Rustic >



Traditional >



Modern



Examples of Office >

Rural / Rustic >



Traditional >



Modern



Industrial Uses

What would you like in Industrial Land Use Areas?



Mini-Storage - Outdoor



Mini-Storage - Indoor



Office / Warehouse



Auto-Repair / Sales



Research Facilities and Laboratories



Manufacturing



Printing & Publishing



Distribution Centers



Lumberyard / Contractor Yard

Commercial Uses

What would you like in Commercial Land Use Areas?



Grocery / Large-scale Retail



Restaurant / Bar / Coffee Shop



Technical, Vocational, Business Schools



Banks



Gas Station



Offices



Conference Centers & Reception Halls



Salon / Barbers



Small-scale Retail



Parking Lot and Street Design

Which images do you prefer?



Parking Lot - Levels of Landscaping >



Street Design >



Street Design >



Sustainability

Which features do you prefer?

Like all of these



Pedestrian / Bicycle Infrastructure



Electric Vehicle (EV) Charging Stations



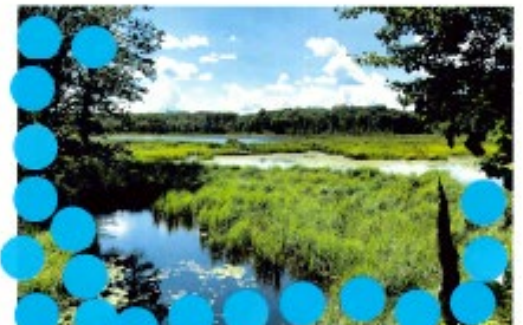
Green Infrastructure and Native Landscaping



Open Space and Preservation Development



Conservation Development



Nature Conservation / Preservation



Energy and Water Efficient Architecture



Solar Energy



Wind Energy



Urban Farming & Community Gardens

